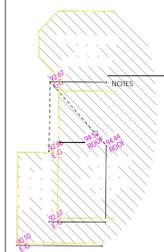


THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS, NOTATIONS AND THE LIKE ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING AND/OR EARTHWORKS. SHOULD ANY DISCREPANCY BETWEEN THE DOCUMENTATION OR ANY OTHER WRITTEN DOCUMENT DIRECTLY RELATED TO THIS PROJECT ARISE, THE BUILDER SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION. THIS OR ANY OTHER DRAWING FOR THIS PROJECT, SHALL NOT BE SCALED. REFER TO THE ARCHITECT FOR ANY CLARIFICATION. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2014.

**DEVELOPMENT APPLICATION**  
NOT FOR CONSTRUCTION

KEYPLAN



NOTES



- STAGE 01
- STAGE 02
- STAGE 03

**1** Master Plan  
1 : 250

3	15.07.07	ISSUED FOR DEVELOPMENT APPLICATION	
2	14.12.18	For Development Application	
1	14.11.28	For Coordination	
NO.	DATE	BY	DESCRIPTION

PROJECT TITLE			
EPPING APARTMENTS 44-50 Kent Street, 42-46 Cliff Road & 9-11 Hazelwood Place Epping			
PROJECT NUMBER	DRAWING NUMBER	REVISION	
2014/42	A01-000	3	
DRAWING TITLE			
MASTER PLAN			

NORTH	DATE	SCALE @ A1
	11/28/14	1 : 250
	DRAWN BY	CHECKED BY
	PA	JA

C:\Users\james\Documents\New\Projects\Final Site Plan\_James.dwg



australian consulting architects

02 9635 5211  
info@acarchitect.com.au | acarchitect.com.au  
level 1, 12 union st, parramatta 2150



10/07/2015 2:10:02 PM

THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS, NOTATIONS AND THE LIKE ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING AND/OR EARTHWORKS. SHOULD ANY DISCREPANCY BETWEEN THE DOCUMENTATION OR ANY OTHER WRITTEN DOCUMENT DIRECTLY RELATED TO THIS PROJECT ARISE, THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY FOR RESOLUTION. THIS OR ANY OTHER DRAWING FOR THIS PROJECT, SHALL NOT BE SCALED. REFER TO THE ARCHITECT FOR ANY CLARIFICATION. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2014.

**DEVELOPMENT APPLICATION**  
NOT FOR CONSTRUCTION

KEYPLAN

NOTES



- LANDSCAPED AREA
- BUILDING FOOTPRINT
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE RETAINED
- EXISTING TREES TO BE RELOCATED AS PER LANDSCAPE ARCHITECT

NO.	DATE	BY	DESCRIPTION
3	15.07.07		ISSUED FOR DEVELOPMENT APPLICATION
2	14.12.18		For Development Application
1	14.11.28		For Coordination

CLIENT

PROJECT TITLE			
EPPING APARTMENTS 44-50 Kent Street, 42-46 Cliff Road & 9-11 Hazelwood Place Epping			
PROJECT NUMBER	DRAWING NUMBER	REVISION	
2014/42	A01-001	3	
DRAWING TITLE			
VEGETATION PLAN			

NORTH	DATE	SCALE @ A1
	11/28/14	1 : 250
DRAWN BY	CHECKED BY	
PA	JA	

C:\Users\james\Documents\New\Projects\Final Site Plan\_James.dwg



australian consulting architects

02 9635 5211  
info@acarchitect.com.au | acarchitect.com.au  
level 1, 12 union st, parramatta 2150



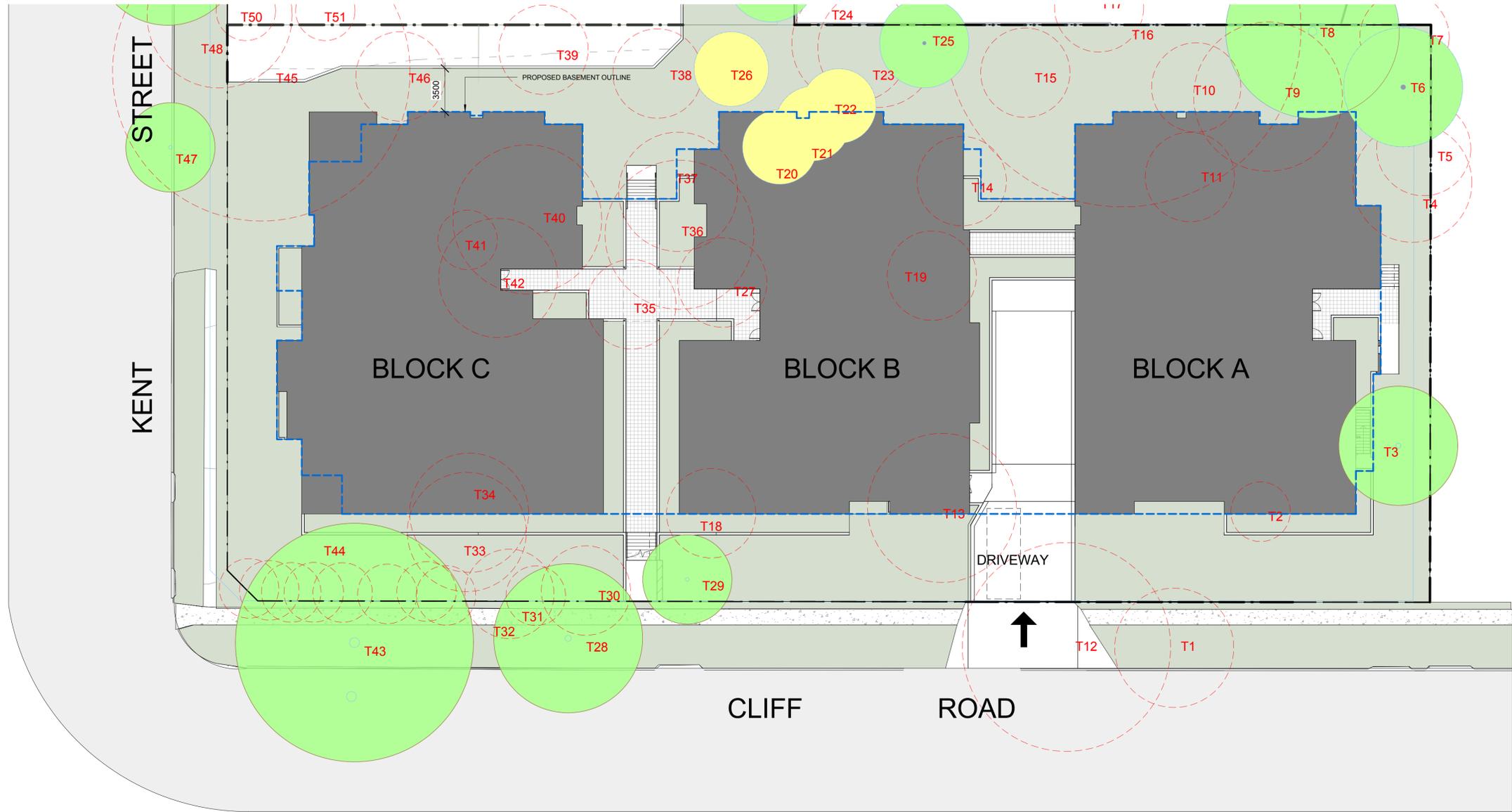
10/07/2015 2:20:26 PM

THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS, NOTATIONS AND THE LIKE ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING AND/OR EARTHWORKS. SHOULD ANY DISCREPANCY BETWEEN THE DOCUMENTATION OR ANY OTHER WRITTEN DOCUMENT DIRECTLY RELATED TO THIS PROJECT ARISE, THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY FOR RESOLUTION. THIS OR ANY OTHER DRAWING FOR THIS PROJECT, SHALL NOT BE SCALED. REFER TO THE ARCHITECT FOR ANY CLARIFICATION. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2014.

**DEVELOPMENT APPLICATION**  
NOT FOR CONSTRUCTION

KEY PLAN

NOTES



NO.	DATE	BY	DESCRIPTION
3	15.07.07		ISSUED FOR DEVELOPMENT APPLICATION
2	14.12.18		For Development Application
1	14.11.28		For Coordination

CLIENT

PROJECT TITLE  
**EPPING APARTMENTS**  
44-50 Kent Street, 42-46 Cliff Road & 9-11 Hazelwood Place Epping

PROJECT NUMBER	DRAWING NUMBER	REVISION
2014/42	<b>A01-011</b>	<b>3</b>

DRAWING TITLE  
**EXISTING VEGETATION PLAN FOR BLOCK A - C**

NORTH	DATE	SCALE @ A1
	07/03/15	As indicated
	DRAWN BY	CHECKED BY
	Author	Checker

C:\Users\james\Documents\Revit Projects\Final Site Plan\_James.rvt



**australian consulting architects**

02 9635 5211  
info@acarchitect.com.au | acarchitect.com.au  
level 1, 12 union st, parramatta 2150

**1** EXISTING VEGETATION PLAN FOR BLOCK A - C  
1 : 200

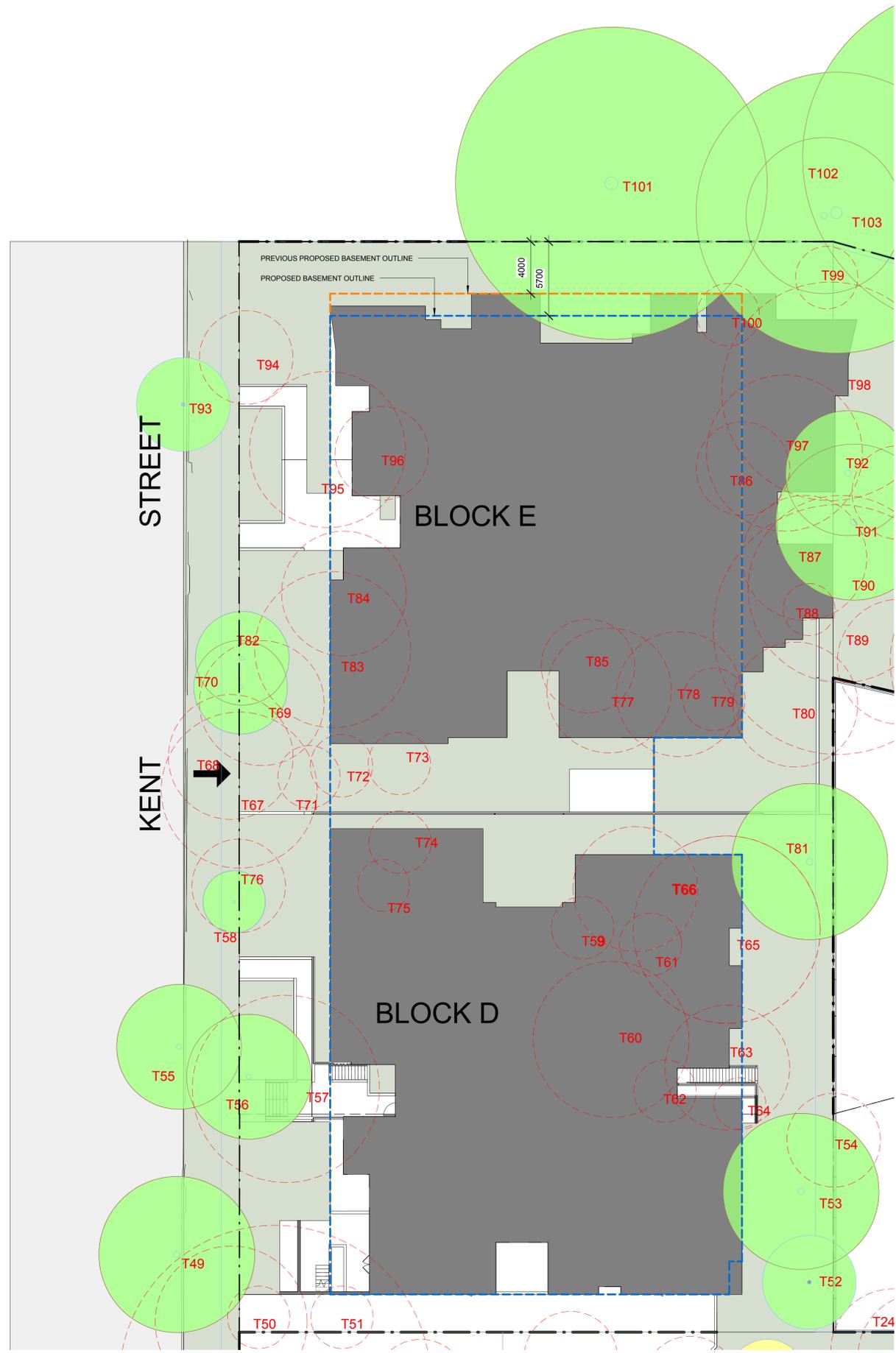


THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS, NOTATIONS AND THE LIKE ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING AND/OR EARTHWORKS. SHOULD ANY DISCREPANCY BETWEEN THE DOCUMENTATION OR ANY OTHER WRITTEN DOCUMENT DIRECTLY RELATED TO THIS PROJECT ARISE, THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY FOR RESOLUTION. THIS OR ANY OTHER DRAWING FOR THIS PROJECT, SHALL NOT BE SCALED. REFER TO THE ARCHITECT FOR ANY CLARIFICATION. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2014.

**DEVELOPMENT APPLICATION**  
NOT FOR CONSTRUCTION

KEY PLAN

NOTES



-  LANDSCAPED AREA
-  BUILDING FOOTPRINT
-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES TO BE RETAINED
-  EXISTING TREES TO BE RELOCATED AS PER LANDSCAPE ARCHITECT

**1** EXISTING VEGETATION PLAN FOR BLOCK D - E  
1 : 200



NO.	DATE	BY	DESCRIPTION
3	15.07.07		ISSUED FOR DEVELOPMENT APPLICATION
2	14.12.18		For Development Application
1	14.11.28		For Coordination

PROJECT NUMBER	DRAWING NUMBER	REVISION
2014/42	A01-012	3

DRAWING TITLE  
EXISTING VEGETATION PLAN FOR BLOCK D - E

NORTH	DATE	SCALE
	07/03/15	As indicated
	DRAWN BY	CHECKED BY
	Author	Checker

C:\Users\mish\Documents\Revit Projects\Final Site Plan\_Jasmine.rvt



australian consulting architects

02 9635 5211  
info@acarchitect.com.au | acarchitect.com.au  
level 1, 12 union st, parramatta 2150

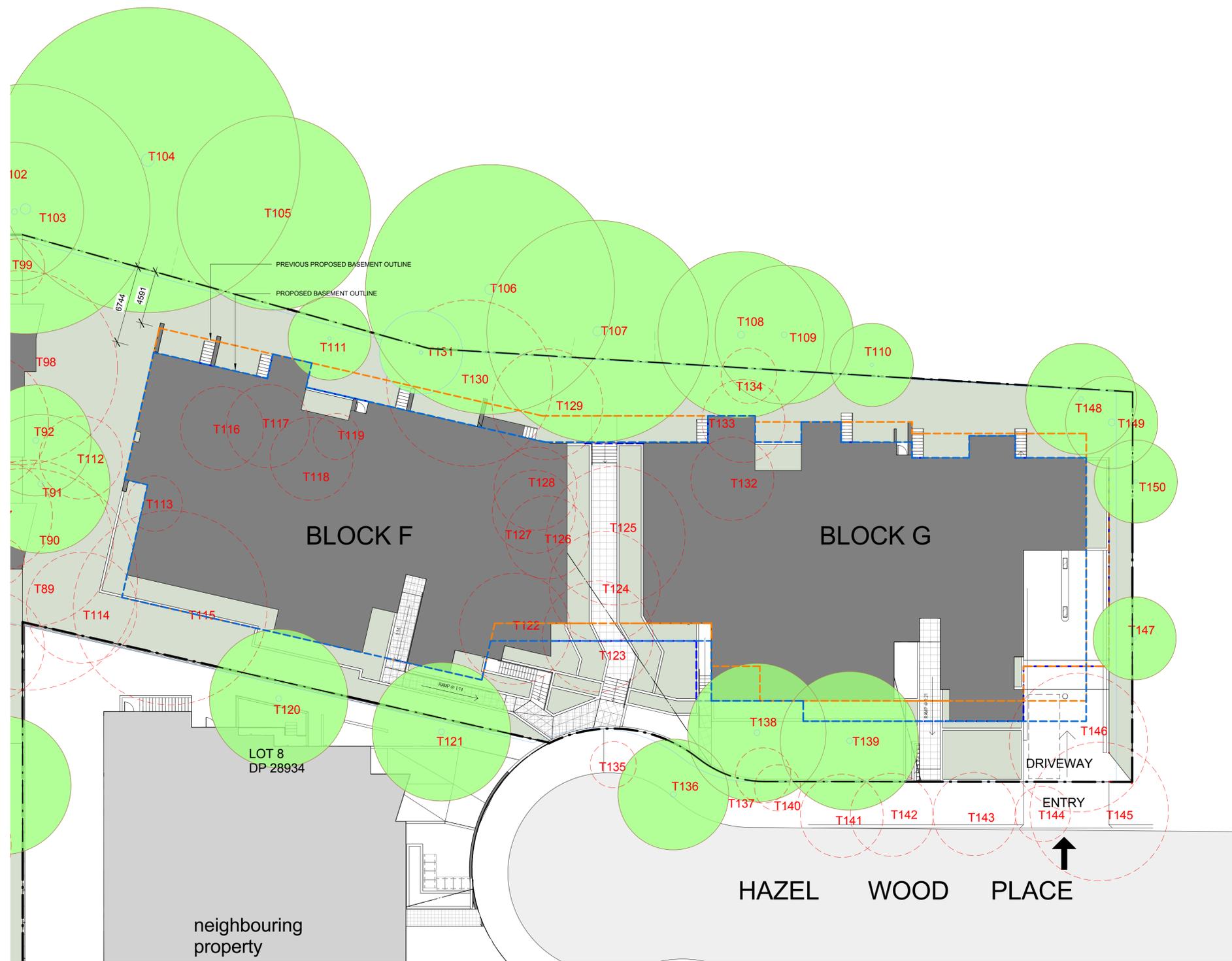
10/07/2015 2:04:02 PM

THE BUILDER SHALL CHECK & VERIFY ALL DIMENSIONS, NOTATIONS AND THE LIKE ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING AND/OR EARTHWORKS. SHOULD ANY DISCREPANCY BETWEEN THE DOCUMENTATION OR ANY OTHER WRITTEN DOCUMENT DIRECTLY RELATED TO THIS PROJECT ARISE, THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY FOR RESOLUTION. THIS OR ANY OTHER DRAWING FOR THIS PROJECT, SHALL NOT BE SCALED. REFER TO THE ARCHITECT FOR ANY CLARIFICATION. THIS DOCUMENT HAS BEEN PREPARED SOLELY FOR THE PURPOSES INTENDED AND REMAINS THE PROPERTY OF THE AUTHOR. THIS DRAWING AND RELATED DOCUMENTATION SHALL NOT BE MODIFIED IN ANY MANNER WHATSOEVER WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE AUTHOR. THIS DRAWING IS COPYRIGHT PROTECTED © 2014.

**DEVELOPMENT APPLICATION**  
NOT FOR CONSTRUCTION

KEYPLAN

NOTES



**1** EXISTING VEGETATION PLAN FOR BLOCK F - G  
1 : 200

-  LANDSCAPED AREA
-  BUILDING FOOTPRINT
-  EXISTING TREES TO BE REMOVED
-  EXISTING TREES TO BE RETAINED
-  EXISTING TREES TO BE RELOCATED AS PER LANDSCAPE ARCHITECT



NO.	DATE	BY	DESCRIPTION
3	15.07.07		ISSUED FOR DEVELOPMENT APPLICATION
2	14.12.18		For Development Application
1	14.11.28		For Coordination

PROJECT TITLE  
**EPPING APARTMENTS**  
44-50 Kent Street, 42-46 Cliff Road & 9-11 Hazelwood Place Epping

PROJECT NUMBER	DRAWING NUMBER	REVISION
2014/42	<b>A01-013</b>	<b>3</b>

DRAWING TITLE  
**EXISTING VEGETATION PLAN FOR BLOCK F - G**

NORTH	DATE	SCALE
	07/03/15	As indicated
	DRAWN BY	CHECKED BY
	Author	Checker

C:\Users\james\Documents\Revit Projects\Final Site Plan\_James.rvt



**australian consulting architects**

02 9635 5211  
info@acarchitect.com.au | acarchitect.com.au  
level 1, 12 union st, parramatta 2150

10/07/2015 2:04:48 PM